

## RESIDENTIAL NEW CONSTRUCTION PLAN REVIEW CHECKLIST

This list is provided as a guide to help you understand the information that must be contained on the construction drawings. This list is not all-inclusive of all building codes but is used as a general guide for plan review. Please address the following items marked with an "X" in the box and submit needed revisions. **Show all revisions with a cloud.**

### General

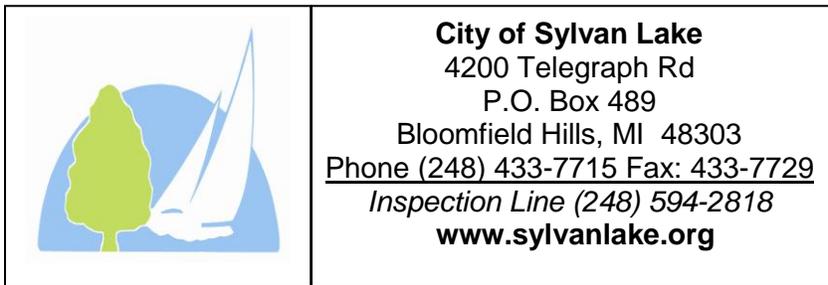
- All construction documents shall be submitted in triplicate
- All drawings shall be completely dimensioned
- Drawn to scale not less than 1/8" = 1'0"
- Drawings must be clear and legible
- Drawing shall be prepared on sheet paper size no larger than 24" x 36".
- Complete scope of work must be clearly identified for all phases of construction, indicating compliance with Michigan Residential Code 2015.
- Architect or Engineer Certification is required for buildings 3500 square feet or larger.
- Structural Certification may be required depending on the projects complexity.
- All construction sites are required to be maintained in a safe condition and to be protected from unauthorized entry. All excavations exceeding 24 inches in depth, such as for basements, crawl spaces, pools and spas must be secured through the use of a 4' high fence. Construction type fencing will be allowed for a period not to exceed 30 days. At such time, should the permitted work still physically be unable to be protected and secured, a chain link fence is required to be installed and must remain in place until its removal has been authorized by the Building Official. **2015 MRC-R104.1 & 2012 MBC-Chapter 33.**

### Grading Plans

Required for all new construction sites proposed for development and for any major grade change. See the Grading Plan Review Checklist for additional information. Note: Grading plan and architectural proposed elevation must match.

### Foundation Plan

- Foundation type showing width and depth, also indicating lead walls where needed, joining dowels and socked perimeter.  
**R401**
- Footing and column support pad with layout.
- Beam size and column spacing.
- Size of support for all bearing walls and point loads above.
- Framing at stair, fireplace, cantilevers, etc.
- Floor joist direction, size, spacing and span **R502**



## RESIDENTIAL NEW CONSTRUCTION PLAN REVIEW CHECKLIST

### Foundation Plan continued

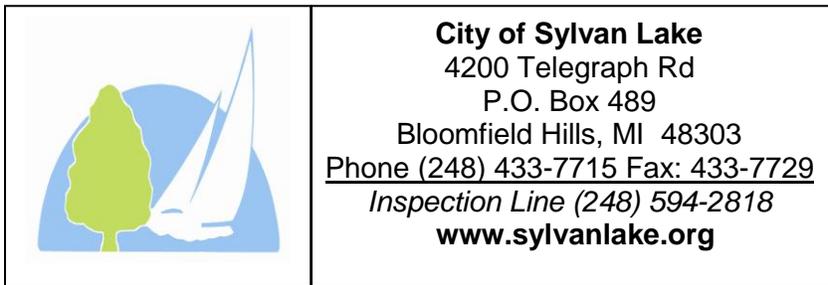
- Basement floor thickness, vapor barrier and 4" stone base. **R506**
- Walkout and/or daylight wall areas with type and size of construction.
- Crawl space size and location.
- Show ground water control indicating gravity discharge or sump pump location. **R405**
- Mechanical equipment location indicating high efficiency or not and required floor drain. **M1411.3**
- Concrete-encased electrodes are to be identified on the plans. **E3508.1.2**

### Floor Plans

- Basement, Attic Storage, Bonus Room, 1<sup>st</sup> and 2<sup>nd</sup> Floor
- Intended use of each room or space
- Floor joist direction, size, spacing and span. **R502**
- Roof framing direction, size, spacing and span. **R802**
- Size and location of all support for bearing walls and concentrated load.
- Stairway locations with direction arrow and number of risers. **R311.5**
- Location of all required smoke detectors. **R314**
- Location of all required carbon monoxide alarms. **R315**
- Layout of kitchen, bath, laundry.
- Show all required access openings, calling out sizes. **R807/R408.3**
- Basements, habitable, attics and every sleeping room shall have not less than one operable window or exterior door approved for emergency egress escape and rescue clearly shown on drawings. Basements with areas of habitable space and areas of sleeping rooms shall also meet emergency egress requirements. **R310**

### Garage

- Floor thickness. **R506**
- 4 inch compacted sand base/vapor barrier.
- Over-dig slab support.
- Slab thickness and slope direction arrow. **R309.3**



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### Roof Framing

- Identify the location, direction, size, spacing and span of all roof and ceiling frame members. **R802**
- Identify all concentrated load points from ends of hip and valley rafters, ceiling joists, rafters, trusses, girder trusses, beams.
- Identify roof pitch for all portions of the roof and sloped ceilings.

### Building/Wall Section Details

Depending on the complexity of your project, more sections or details may be required.

- Footing and basement wall size, type and heights. **R401**
- Foundation wall damp proofing, **R406.1** waterproofing, pea stone, 4 inch sock drain tile or fabric material over stone bed. **R405**
- Back fill material type and finish grade elevation. **R406.3.3**
- Sill seal and treated sill plate. **R317.1**
- Anchor bolt size and spacing. **R403.1.6**
- Floor joist and sub-floor framing size, type.
- Wall framing size, type, spacing and height including header sizes. **R602.7**
- Insulation R-Values for bond, wall, ceiling locations, floors over unconditioned spaces and under slab where required.
- Interior finish drywall size and type including garage walls and ceiling. **R309.2**
- Exterior sheathing size and type including house wrap. **R703.2**
- Indicate fire stopping and sealing per MRC 2009. **R602.8**
- Roof construction details, size and type of sheathing, felt paper, ice and water shield, shingles, drip edge. **R905**
- Location, size, type, amount of attic ventilation, to shown and proven with calculation. Also crawl space ventilation. **R408 & R806**
- Brick veneer, size, type, weather-resistive barrier, brick wall ties, flashing, and weep holes 33 inches on center. **R703**



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### 2015 Michigan Residential Code Chapter 11

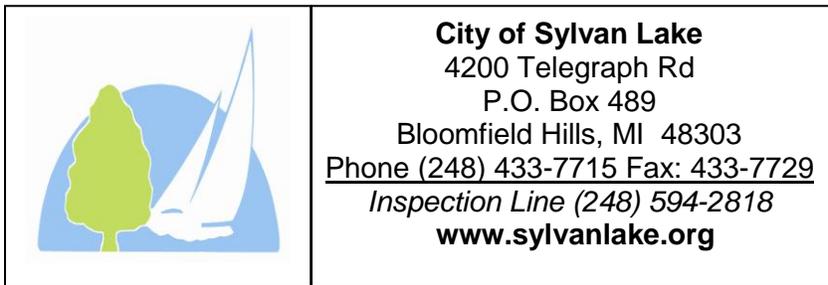
- Provide documentation showing compliance 2015 MRC Chapter 11
- Energy star requires: Thermal Bypass Checklist and energy seal 1 at rough frame inspection; certification required with insulation certification. All homes require an approved air infiltration certification prior to the rough frame inspection and a second certification after the drywall installation to be submitted prior to scheduling the final building inspection. Blower door and duct blaster listing completed and approved prior to final building inspection.
- Upon final inspection, certification to be provided as outlined.
- Fireplace doors to comply with Chapter 11

### Stair Details

- Stinger size and quantity. **R311.5**
- Tread width **R311.5.8**
- Riser material and height. **R311.5**
- Handrail detail. **R311**
- Baluster and guardrail detail for all stairways, calling out material and spacing. **R312**
- Under stair protection **R302.7**

### Window/Door Schedule

- Sizes **R310**
- Locations
- Type and fire rating of door separating garage and house. **R302.5.1**
- Egress windows labeled, also call out size of window well if needed. **R310**
- Safety or tempered glazing in required areas must be labeled. **R308**
- Window sill height **R612.2**



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### Masonry Fireplace Detail

- Footing
- Flue size and material
- Hearth depth, width and means of support **R1001.9**
- Hearth extension, size **R1001.10**
- Call out type of fireplace to be installed, masonry/insert/prefab gas log unit.
- Material used for chimney chase. **R1003**
- Height of chimney above roofline. **R1003.9**
- Fireplace doors to comply with **MUEC 402.4.3**

### Building Elevations

- Front, sides and rear elevation showing all retaining walls
- Façade material, window and door locations.
- Existing and proposed grade elevations that matches proposed elevations on site plan, also include building height calculations, **as shown on sample A.**
- Floor elevations.

**A separate permit is required for all ground-mounted mechanicals.**

**Please note revisions to construction documents shall be clouded, data and resubmitted in full sets**

**RW = Retaining Wall      NS = Not shown      ZBA = Zoning Board of Appeals      NI = Not Indicated**