

RESIDENTIAL NEW DECK CONSTRUCTION PLAN REVIEW CHECKLIST

This list is provided as a guide to help you understand the information that must be contained on the construction drawings. This list is not all-inclusive of all building codes but is used as a general guide for plan review. Please address the following items marked with an %+in the box and submit needed revisions.

General

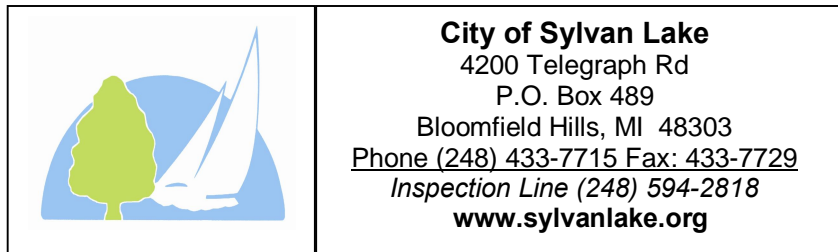
- All construction documents shall be submitted in triplicate
- All drawings shall be completely dimensioned
- Drawn to scale not less than 1/8+= 1@+
- Drawings must be clear and legible
- Drawing shall be prepared on sheet paper size no larger than 24+x 36+
- Complete scope of work must be clearly identified for all phases of construction and identifying compliance with the **2006 Michigan Residential Code**.
- Architect or Engineer Certification is required for buildings 3500 square feet or larger.
- Structural Certification may be required depending on the project complexity.

Foundation Plan

- Foundation type
- Typical fill.

Framing

- Construction method.
- Post type, size, height, spacing.
- Beam type, size, span, spacing.
- Typical fastening.
- Floor joists type, size, span, spacing.
- Bond board type, size, span, typical fastening.
- Decking type, size, span, spacing.
- Diagonal bracing as required.
- Distance between decking and railing.
- Flashing detail as required
- Identify on plans, the correct fasteners and hangers for pressure treated lumber



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Handrail

- Height, size, spacing
- Post type, size, height, spacing.
- Rail type, size, spacing.
- Spindle/Newel post type, size, spacing.
- Handrail type, size, spacing.
- Hand grip type, size, spacing.
- Stairway illumination **R311.5.7**

Stair Details

- Stringer
- Tread.
- Riser.
- Handrail detail.
- Baluster and guardrail detail.
- Stairway locations with direction arrow and number of risers.

Elevations

- Front, sides and rear.

Ordinance

- Dimensions of property lines are inaccurate, provide revisions.
- Proposed exceeds the maximum lot coverage, requires Zoning Board of Appeals approval.
- Proposed exceeds allowable encroachment into required front or rear yard setback, requires ZBA approval
- Provide existing elevations for proposed addition.
- Proposed elevation exceeds the allowable when encroaching into required front or rear yard setback.
- Provide site plan and construction/foundation plan that agree.
- Provide dimension from lot to proposed building.